



## DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES

*Planning Division*

### **m e m o r a n d u m**

**TO:** The Urbana Plan Commission

**FROM:** Jeff Engstrom, AICP, Planner II

**DATE:** February 28, 2014

**SUBJECT:** Plan Case 2224-M-14: A request to rezone a parcel located north of Anthony Drive and east of Willow Road from IN, Industrial to B-3, General Business.

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### **Introduction and Background**

Rudolf A. Frasca, on behalf of Frasca Associates, has submitted a petition to rezone a parcel located north of Anthony Drive and east of Willow Road from IN, Industrial Zoning District to B-3, General Business Zoning District in order to allow for expansion of parking lot for an indoor soccer facility, as well as future expansion of the facility. The area to be rezoned is directly north of 2310 Willow Road and is currently being used for agricultural purposes. The parcel totals approximately 1.871 acres. It is currently part of a larger parcel that extends from the northern property line of 2310 Willow Road to the future extension of O'Brien Drive, between Willow Road and the western property line of O'Brien's Auto Park at 1111 O'Brien Drive. A subdivision application is simultaneously being processed for the larger property to split it into two parcels to enable the rezoning. In 2012, the applicant had a similar request for a final plat and rezoning in order to establish Soccer Planet on the property immediately south of the subject parcel. Since then, the business has become successful and needs some room to grow.

Pursuant to the Urbana Zoning Ordinance, the Plan Commission may either recommend approval or denial of the proposed rezoning request to City Council for final action.

On December 17, 2001, a preliminary plat (Exhibit G) for this parcel was approved by the Urbana City Council. A final plat (Exhibit H) was submitted by the applicant. Per the Urbana Subdivision Ordinance and Land Development Code, because the final plat is in general conformance with the preliminary plat, it may be approved directly by the City Council without a recommendation from Plan Commission. The City Council will review the final plat on March 17, 2014.

## Adjacent Land Uses, Zoning, and Comprehensive Plan Designations

The subject property has frontage on Willow Road north of Interstate 74. There is a mixture of zoning and land uses in the surrounding area, including industrial and regional business. The parcel to the west is zoned IN-1, Light Industrial/Office and is occupied by APL Engineered Materials. The property to the north is zoned IN-1, Light Industrial/Office and is currently undeveloped. To the east, zoned B3, General Business, is O'Brien Auto Park. Just north of O'Brien Auto Park, also zoned B3, General Business, is Farm & Fleet. Immediately south is the Soccer Planet parcel, zoned B-3, General Business. Further south, zoned IN-1, Light Industrial/Office, is Brahler's Trucker Supply, and then Michelle's Bridal Shoppe, zoned B-3, General Business.

Following is a summary of zoning, existing land uses and Comprehensive Plan future land use designations for the subject site and surrounding property. Exhibits A, B and C further illustrate this.

Location	Zoning	Existing Land Use	Comprehensive Plan Future Land Use
Site	IN-1, Light Industrial/Office	Vacant, Agricultural Use	Regional Business
North	IN-1, Light Industrial/Office	Vacant, Agricultural Use	Regional Business
South	B-3, General Business	Indoor Recreation (Soccer Planet)	Regional Business
East	B-3, General Business	Auto Sales (O'Brien)	Regional Business
West	IN-1, Light Industrial/Office	Industrial (APL)	Regional Business

## Comprehensive Plan

The 2005 Urbana Comprehensive Plan identifies the future land use for the subject site as well as the surrounding property as "Regional Business." The Comprehensive Plan defines "Regional Business" as follows:

*Regional Business centers are intended to serve regional as well as local demand. Typically located in a high-visibility area that offers convenient access and parking. The intensity of development may range from large-scale "big box" uses to smaller-scale buildings supporting outlot business opportunities. Although Regional Business areas are typically oriented primarily to automobile traffic, their design should include adequate facilities for pedestrians, bicyclists and public transit.*

Rezoning the subject property to B-3 is consistent with the designation of the site in the Comprehensive Plan as B-3 is the most appropriate zoning district for regional businesses. The following Comprehensive Plan Goals and Objectives also support the rezoning:

### **Goal 15.0 Encourage compact, contiguous and sustainable growth patterns.**

#### *Objectives*

- 18.1 Plan for new growth and development to be contiguous to existing development where possible in order to avoid "leapfrog" developments.

### **Goal 25.0 Create additional commercial area to strengthen the city's tax base and service base.**

### *Objectives*

- 25.2 Promote new commercial areas that are convenient to existing and future neighborhoods.
- 25.4 Find new locations for commercial uses and enhance existing locations so Urbana residents can fulfill their commercial and service needs locally.

### **Goal 31.0 Retain and expand existing businesses and industries.**

#### *Objectives*

- 31.1 Develop a systematic approach to business retention, expansion and attraction.

## **Discussion**

The proposed rezoning would allow for expansion Soccer Planet, an indoor soccer facility that consists of a 24,000 square foot building including an indoor soccer field, a café, and a small retail shop. Soccer Planet plans to immediately expand their parking lot onto the western portion of the parcel to be rezoned. The remainder of the parcel will remain vacant for now, with possible addition of another soccer field in the future. Expanding the parking lot will accommodate Soccer Planet's growing customer base and ensure guests do not park on adjacent streets. There will be a net gain of 26 parking spaces. According to the Urbana Zoning Ordinance, the intent of the IN-1 Light Industrial/Office Zoning District is "to provide land for employment centers related to research and development, engineering and testing, office uses, warehousing, and limited manufacturing and industrial activities that will not have an adverse effect upon the district in which it is located." The intent of the B-3, General Business District, on the other hand, is "to provide areas for a range of commercial uses wider than that of B-1 Neighborhood Business but at a lower intensity than Central Business, meeting the general business needs of the City". Zoning Description Sheets for both the IN-1 and B-3 Zoning Districts are attached in Exhibit D. Since the subject property is in an area with businesses that serve the region, rezoning the subject property to B-3 would be consistent with the intent of the B-3 Zoning District. In addition, rezoning of the subject property would be consistent with the zoning of other commercial properties in the surrounding area including that of Soccer Planet, Michelle's Bridal Shoppe, O'Brien Auto Park, and Creative Thermal Solutions.

### **The La Salle Criteria**

In the case of *La Salle National Bank v. County of Cook* (the "La Salle" case), the Illinois Supreme Court developed a list of factors that are paramount in evaluating the legal validity of a zoning classification for a particular property. Each of these factors will be discussed as they pertain to a comparison of the existing zoning with that proposed by the Petitioner.

1. *The existing land uses and zoning of the nearby property.*

*This factor relates to the degree to which the existing and proposed zoning districts are compatible with existing land uses and land use regulations in the immediate area.*

The subject site, zoned IN-1, Light Industrial/Office, is currently vacant and being used for agricultural purposes, which is allowed under the existing zoning but is not consistent with the intent of the Industrial zoning district. The petitioner is proposing to expand an existing adjacent parking lot for an indoor soccer facility onto a portion of the subject property, with the remainder of the parcel available for potential growth. The proposed zoning district would be consistent with the proposed use.

Nearby businesses include Soccer Planet, Brahler's Truckers Supply, Creative Thermal Solutions, O'Brien Auto Park, Michelle's Bridal Shoppe, and Farm & Fleet. These businesses serve the region, and are appropriately located adjacent to Interstate 74. The proposed zoning district would be consistent with these nearby uses.

2. *The extent to which property values are diminished by the restrictions of the ordinance.*

*This is the difference in the value of the property as IN-1 and the value it would have if it were rezoned to B-3, General Business.*

Under the current zoning, a soccer facility would not be allowed, as *Private Indoor Recreational Development* is not an allowed use in IN-1, Light Industrial/Office. It is assumed that the proposed rezoning would increase the value of the property as it may allow for future expansion of the soccer facility if rezoned to B-3, General Business. In addition, the proposed rezoning would be consistent with the Comprehensive Plan.

It should be noted that City Planning Division staff are not qualified as professional appraisers and that a professional appraiser has not been consulted regarding the impact of zoning on the value of the property. Therefore, any discussion pertaining to specific property values should be considered speculative.

3. *The extent to which the ordinance promotes the health, safety, morals or general welfare of the public. (see No. 4 below)*

4. *The relative gain to the public as compared to the hardship imposed on the individual property owner.*

*Questions 3 and 4 apply to the current zoning restrictions: do the restrictions promote the public welfare in some significant way so as to offset any hardship imposed on the property owner by the restrictions?*

The rezoning of the property should not jeopardize the health, safety, morals or general welfare of the public. Rezoning the subject property will allow for expansion of a parking lot for a private indoor recreational facility that serves the community as well as the region. The indoor soccer facility is a type of business envisioned for the area in the Comprehensive Plan designation of Regional Business. Should the rezoning be denied, there would be no relative gain to the public.

5. *The suitability of the subject property for the zoned purposes.*

*The issue here is whether there are certain features of the property which favor the type and intensity of uses permitted in either the current or the proposed zoning district.*

The subject property is well suited for the B-3 Zoning District and it is located in one of the City's TIF districts and Enterprise Zone, which incentivizes business expansion. The B-3 Zoning District is consistent with the Regional Business land use designation for the area in the Comprehensive Plan. In addition, the subject property is located adjacent to an Interstate and provides high visibility for businesses. The area is well served by utilities.



6. *The length of time the property has been vacant as zoned, considered in the context of land development, in the area, in the vicinity of the subject property.*

*Another test of the validity of the current zoning district is whether it can be shown that the property has remained vacant for a significant period of time because of restrictions in that zoning district.*

There is no evidence that the lot has remained vacant for any period of time due to its current zoning designation.

## **Summary of Staff Findings**

1. The applicant has submitted a petition to amend the Urbana Zoning Map for the subject property from IN-1, Light Industrial/Office to B-3, General Business in order to allow the expansion of a parking lot serving an indoor soccer facility and possible future expansion of the facility.
2. The subject property is currently designated by the 2005 Urbana Comprehensive Plan as Regional Business.
3. The subject property is currently zoned IN-1, Light Industrial/Office.
4. The proposed zoning map amendment to B-3, General Business would be consistent with the proposed land use and with the commercial uses and zoning in the surrounding area.
5. The proposed zoning map amendment is consistent with the 2005 Urbana Comprehensive Plan.
6. The proposed zoning map amendment generally meets the LaSalle Case criteria.

## **Options**

The Plan Commission has the following options for recommendations to the City Council regarding Plan Case 2224-M-14:

1. Forward this case to City Council with a recommendation for approval.
2. Forward this case to City Council with a recommendation for denial.

## **Staff Recommendation**

Based on the evidence presented in the discussion above, and without the benefit of considering additional evidence that may be presented at the public hearing, staff recommends the Plan Commission forward Case No. 2224-M-14 to the City Council with a recommendation for **APPROVAL**.

Attachments: Exhibit A: Location and Existing Land Use Map  
Exhibit B: Existing Zoning Map  
Exhibit C: Future Land Use Map

Exhibit D: Zoning Description Sheets  
Exhibit E: Petition for Zoning Map Amendment  
Exhibit F: Soccer Planet proposed parking expansion site plan  
Exhibit G: Preliminary Plat  
Exhibit H: Final Plat

CC: Rudolf Frasca, [tfrasca@frasca.com](mailto:tfrasca@frasca.com)  
Graham Berry, Soccer Planet

# EXHIBIT A: LOCATION AND EXISTING LAND USE



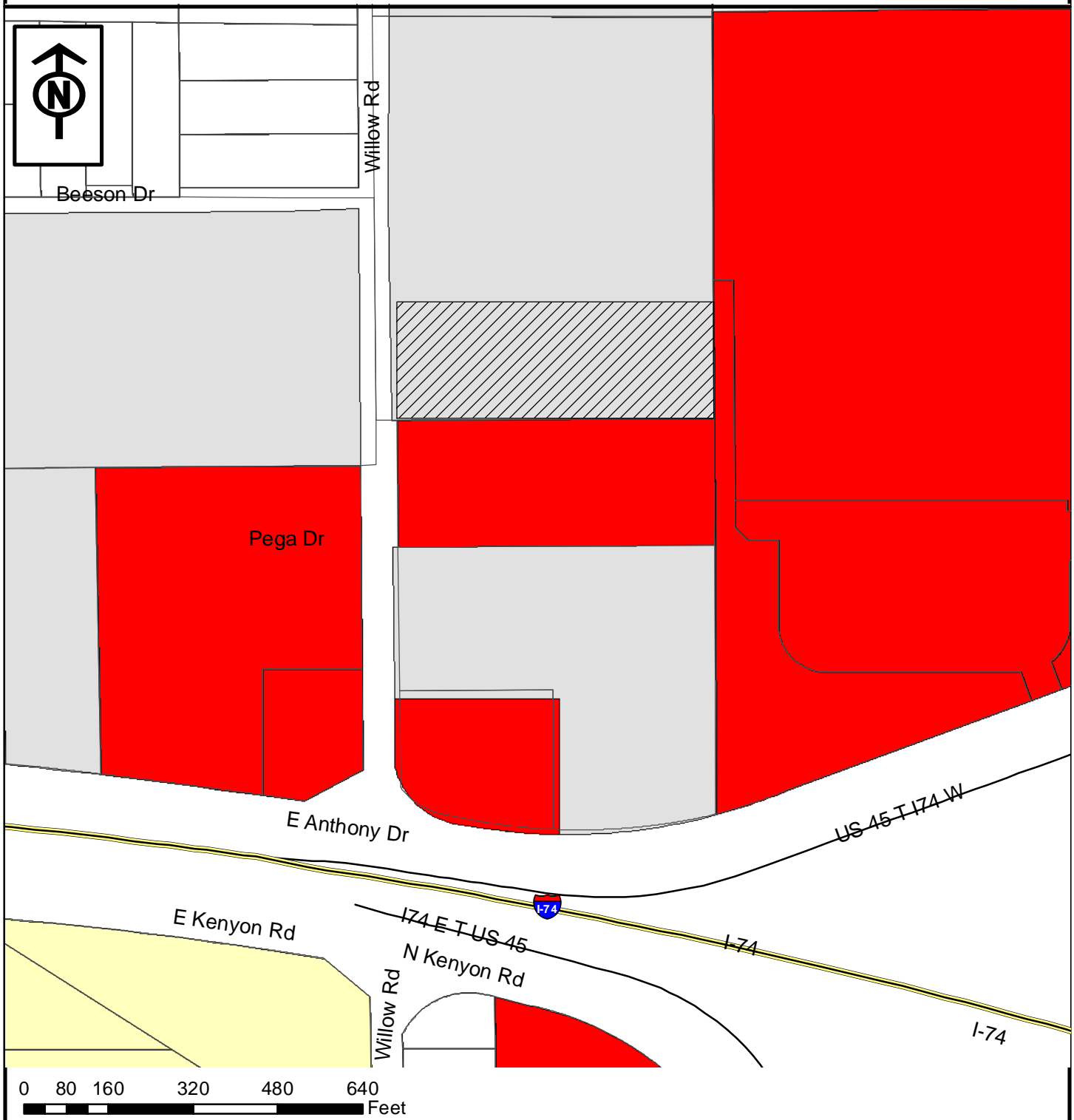
Case: 2224-M-14  
Subject: Application to Rezone from IN-1 to B-3  
Location: 2400 N. Willow Rd  
Petitioner: Rudolph Frasca

 Subject Property

 Interstate

Prepared 2/21/2014 by Community Development Services - rpn

# EXHIBIT B: EXISTING ZONING



Case: 2224-M-14  
 Subject: Application to Rezone from IN-1 to B-3  
 Location: 2400 N. Willow Rd  
 Petitioner: Rudolph Frasca


Interstate

Prepared 2/21/2014 by Community Development Services - rpn

 Subject Property

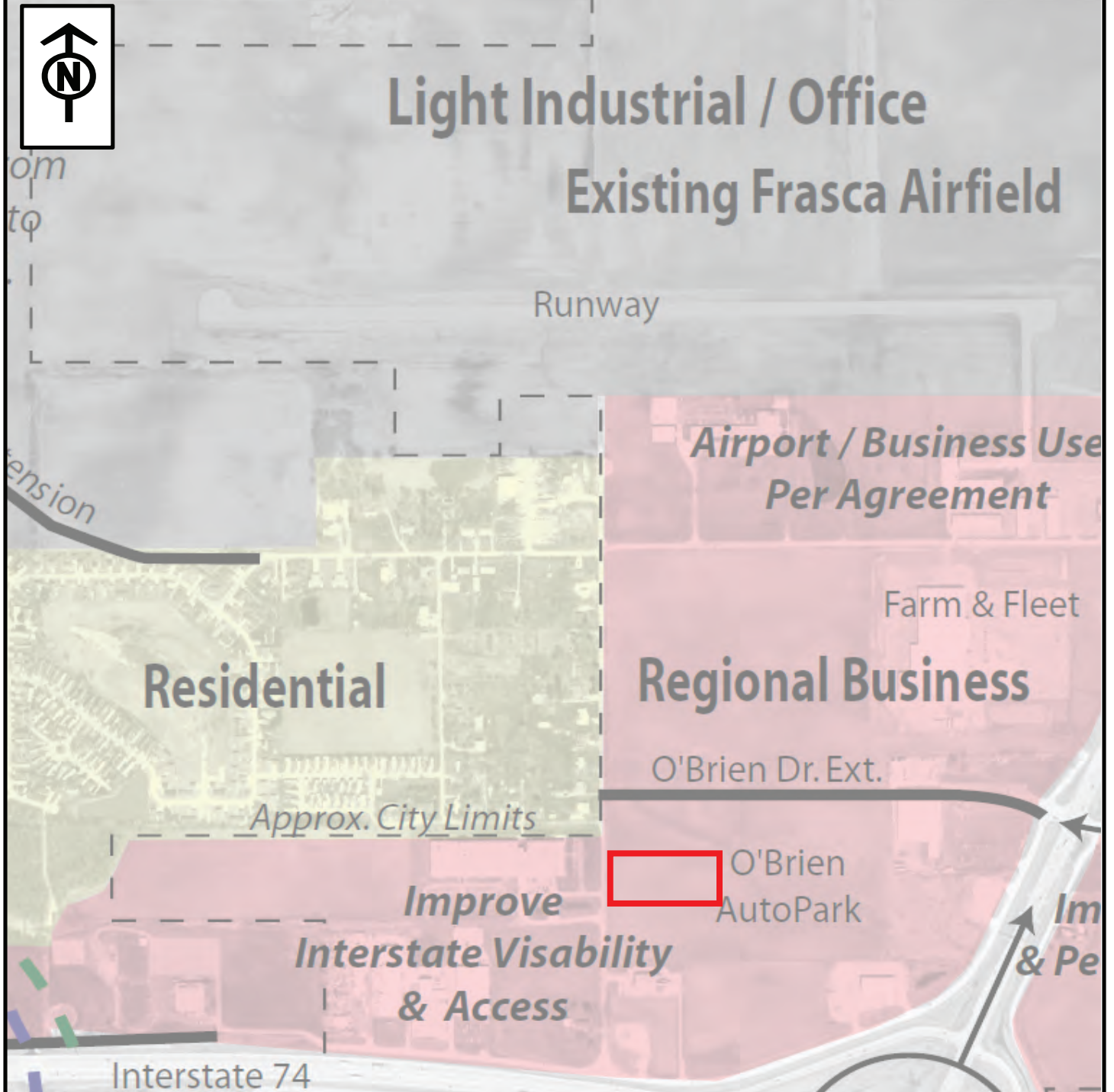
 IN-1

 B3

 R1







# EXHIBIT C: FUTURE LAND USE



Case: 2224-M-14  
Subject: Application to Rezone from IN-1 to B-3  
Location: 2400 N. Willow Rd  
Petitioner: Rudolph Frasca

Interstate

Prepared 2/21/2014 by Community Development Services - rpn

-  Subject Property
-  Residential
-  Community Business
-  Light Industrial/Office



# IN-1 – LIGHT INDUSTRIAL/OFFICE DISTRICT

## ZONING DESCRIPTION SHEET

According to Section IV-2 of the Zoning Ordinance, the purpose and intent of the IN-1 Zoning District is as follows:

"The *IN-1, Light Industrial/Office District* is intended to provide land for employment centers related to research and development, engineering and testing, office uses, warehousing, and limited manufacturing and industrial activities that will not have an adverse effect upon the district in which it is located. In addition, some low intensity commercial uses may be permitted in this district to provide convenient goods and services for employees and patrons in the zoning district. Higher intensity commercial uses are generally prohibited. Low intensity industrial uses are permitted by right or as a special use, depending on the attributes of the proposed land use."

Following is a list of the Permitted Uses, Special Uses, Planned Unit Development Uses and Conditional Uses in the IN District. Permitted Uses are allowed by right. Special Uses and Planned Unit Development Uses must be approved by the City Council. Conditional Uses must be approved by the Zoning Board of Appeals.

### PERMITTED USES:

#### **Agriculture**

Agriculture, Cropping  
Farm Chemicals and Fertilizer Sales Including  
Incidental Storage and Mixing of Blending  
Fertilizer  
Farm Equipment Sales and Service

#### **Business - Food Sales and Services**

Convenience Store  
Wholesale Produce Terminal

#### **Business - Miscellaneous**

Aviation Sales, Service or Storage  
Contractor Shop and Show Room (*Carpentry, Electrical, Exterminating, Upholstery, Sign Painting, and Other Home Improvement Shops*)  
Kennel  
Lawn Care and Landscaping Service  
Lumber Yard  
Mail Order Business  
Radio or TV Studio  
Shopping Center – Convenience  
Self-Storage Facility  
Warehouse  
Wholesale Business  
Veterinary Hospital – Small Animal

#### **Business - Personal Services**

Ambulance Service  
Barber/Beauty Shop  
Dry Cleaning or Laundry Establishment  
Health Club/Fitness  
Laundry and/or Dry Cleaning Pickup  
Medical Carrier Service

#### **Business - Professional and Financial Services**

Bank/Savings and Loan Association  
Check Cashing Service  
Copy and Printing Service  
Express Package Delivery Distribution Center  
Packaging/Mailing Service  
Professional and Business Office  
Vocational, Trade or Business School

#### **Business - Retail Trade**

Building Materials Sales (*All Indoor Excluding Concrete or Asphalt Mixing*)  
Florist  
Hardware Store  
Heat, Ventilating, and Air Conditioning Sales and Services  
Office Supplies/Equipment Sales and Service  
Photographic Studio and Equipment Sales and Service

#### **Business - Transportation**

Motor Bus Station  
Truck Terminal/ Truck Wash  
Taxi Service

#### **Business - Vehicular Sales and Services**

Automobile, Truck, Trailer or Boat Sales  
Automobile/ Truck Repair  
Car Wash  
Gasoline Station

## PERMITTED USES CONTINUED:

### Industrial

Bookbinding  
Confectionery Products Manufacturing and Packaging  
Electronics and Related Accessories-Applied Research and Limited Manufacturing  
Engineering, Laboratory, Scientific and Research Instruments Manufacturing  
Household and Office Furniture Manufacturing  
Light Assembly Manufacturing (*50,000 gross square feet or less*)  
Office and Artists Materials Manufacturing (*Except Paints, Inks, Dyes and Similar Products*)  
Printing and Publishing Plants for Newspapers, Periodicals, Books, Stationery, and Commercial Printing  
Theoretical and Applied Research, Development and Prototype Light Manufacturing of the following: Drugs, Chemicals, Food Products, Rubber and Petroleum Products, Light Fabricated Metal Products, Electrical Products, Physical and Aerospace Sciences, Wood and Wood Products, Non-electrical Machinery, Textiles, Glass Ceramic Products

### Public and Quasi-Public

Electrical Substation  
Hospital or Clinic  
Methadone Treatment Facility  
Municipal or Government Building  
Non-Profit or Governmental, Educational and Research Agencies  
Park  
Police or Fire Station  
Principle Use Parking Garage or Lot  
Public Maintenance and Storage Garage  
University/College  
Utility Provider

### Residential

Hotel or Motel

## SPECIAL USES:

### Industrial

All Other Industrial Uses  
Recycling Center

### Public and Quasi-Public

Church, Temple or Mosque  
Correctional Institution or Facility  
Water Treatment Plant

## PLANNED UNIT DEVELOPMENT USES:

### Business - Miscellaneous

Commercial Planned Unit Development  
Mixed-use Planned Unit Development

### Industrial

Industrial Planned Unit Development

## CONDITIONAL USES:

### Business – Food Sales and Service

Bakery (*Less than 2500 square feet*)  
Café or Deli  
Fast-food Restaurant  
Restaurant  
Tavern or Night Club

### Business – Miscellaneous

Construction Yard  
Day Care Facility (*non-home based*)  
Veterinary Hospital – Large Animal

### Business – Transportation

Airport  
Air Freight Terminal  
Heliport  
Railroad Yard and Freight Terminal

### Business – Vehicular Sales and Service

Towing Service

### Public and Quasi-Public

Institution of an Educational or Charitable Nature  
Radio or Television Tower and Station

### Industrial

Electrical and Electronic Machinery, Equipment and Supplies Manufacturing  
Household and Office Furniture Manufacturing  
Jewelry, Costume Jewelry, Novelties, Silverware and Plated Ware Manufacturing and Processing  
Light Assembly and Manufacturing (*Greater than 50,000 gross square feet*)  
Manufacturing and Processing of Athletic Equipment and Related Products  
Manufacturing and Processing of Apparel and Related Finished Products Manufacturing  
Mechanical Measuring and Controlling Instruments Manufacturing  
Miscellaneous Finished Products Manufacturing Including Home Products, Canvas Products, Decorative Textiles, Luggage, Umbrellas and Similar Products  
Motion Picture Production Studio  
Motor Vehicles Parts and Accessories Manufacturing  
Musical Instruments and Allied Products Manufacturing  
Optical Instruments and Lenses Manufacturing  
Photographic Equipment and Supplies Manufacturing

## **CONDITIONAL USES CONTINUED:**

### **Industrial Continued**

Signs and Advertising Display Manufacturing  
Surgical, Medical, Dental and Mortuary Instruments and Supplies Manufacturing  
Watches, Clocks and Clockwork Operated Devices Manufacturing  
Wool, Cotton, Silk and Man-Made Fiber Manufacturing

## **DEVELOPMENT REGULATIONS IN THE IN-1 DISTRICT**

<b>ZONE</b>	<b>MIN LOT SIZE (square feet)</b>	<b>MIN AVERAGE WIDTH (in feet)</b>	<b>MAX HEIGHT (in feet)</b>	<b>MAX FAR</b>	<b>MIN OSR</b>	<b>MIN FRONT YARD (in feet)</b>	<b>MIN SIDE YARD (in feet)</b>	<b>MIN REAR YARD (in feet)</b>
<b>IN-1</b>	<b>6,000</b>	<b>60</b>	<b>None*</b>	<b>2.00</b>	<b>None</b>	<b>15</b>	<b>5</b>	<b>10</b>

**FAR= FLOOR AREA RATIO**

**OSR= OPEN SPACE RATIO**

\* In the IN-1 District, if the height of a building is two stories or exceeds 25 feet, the minimum side and rear yards shall be increased by three feet for each ten feet or fraction thereof over 25 feet in height.

For more information on zoning in the City of Urbana call or visit:

**City of Urbana**

**Community Development Services Department**

400 South Vine Street, Urbana, Illinois 61801

(217) 384-2440 phone / (217) 384-2367 fax

[www.urbanainillinois.us](http://www.urbanainillinois.us)





## B-3 – GENERAL BUSINESS ZONING DISTRICT

### ZONING DESCRIPTION SHEET

According to Section IV-2 of the Zoning Ordinance, the purpose and intent of the B-3 Zoning District is as follows:

"The *B-3, General Business District* is intended to provide areas for a range of commercial uses wider than that of Neighborhood Business but at a lower intensity than Central Business, meeting the general business needs of the City."

Following is a list of the Permitted Uses, Special Uses, Planned Unit Development Uses and Conditional Uses in the B-3 District. Permitted Uses are allowed by right. Special Uses and Planned Unit Development Uses must be approved by the City Council. Conditional Uses must be approved by the Zoning Board of Appeals.

#### PERMITTED USES:

##### Agriculture

Farm Equipment Sales and Service  
Feed and Grain (*Sales Only*)  
Garden Shop  
Plant Nursery or Greenhouse  
Roadside Produce Sales Stand

##### Business - Adult Entertainment

Adult Entertainment Uses

##### Business - Food Sales and Services

Bakery (*Less than 2,500 square feet*)  
Café or Deli  
Confectionery Store  
Convenience Store  
Fast-Food Restaurant  
Meat and Fish Market  
Restaurant  
Liquor Store  
Supermarket or Grocery Store  
Tavern or Night Club

##### Business - Miscellaneous

Auction Sales (*Non-Animal*)  
Contractor Shop and Show Room (*Carpentry, Electrical, Exterminating, Upholstery, Sign Painting, and Other Home Improvement Shops*)  
Lawn Care and Landscaping Service  
Mail Order Business  
Radio or TV Studio  
Shopping Center – Convenience  
Shopping Center – General  
Wholesale Business

##### Business - Personal Services

Ambulance Service  
Barber/ Beauty Shop  
Dry Cleaning or Laundry Establishment  
Health Club/ Fitness  
Laundry and/or Dry Cleaning Pick-up  
Massage Therapist  
Medical Carrier Service  
Mortuary  
Pet Care/ Grooming  
Self-Service Laundry  
Shoe Repair Shop  
Tailor and Pressing Shop

##### Business - Professional and Financial Services

Bank/ Savings and Loan Association  
Check Cashing Service  
Copy and Printing Service  
Packaging/ Mailing Service  
Professional and Business Office  
Vocational, Trade or Business School

##### Business - Transportation

Motor Bus Station  
Taxi Service

##### Business - Vehicular Sales and Service

Automobile Accessories (*New*)  
Automobile, Truck, Trailer or Boat Sales or Rental  
Automobile/ Truck Repair  
Car Wash  
Gasoline Station  
Mobile Home Sales

## **PERMITTED USES CONTINUED:**

### **Business - Recreation**

Athletic Training Facility  
Bait Sales  
Bowling Alley  
Dancing School  
Driving Range  
Lodge or Private Club  
Miniature Golf Course  
Outdoor Commercial Recreation Enterprise (*Except Amusement Park*)  
Pool Hall  
Private Indoor Recreational Development  
Theater, Indoor

### **Public and Quasi-Public**

Electrical Substation  
Hospital or Clinic  
Institution of an Educational or Charitable Nature  
Library, Museum or Gallery  
Methadone Treatment Facility  
Municipal or Government Building  
Park  
Police or Fire Station  
Principle Use Parking Garage or Lot  
Public Maintenance and Storage Garage  
University/ College  
Utility Provider

### **Residential**

Bed and Breakfast Inn  
Bed and Breakfast Inn, Owner Occupied  
Dwelling, Community Living Facility, Category II or Category III  
Dwelling, Home for Adjustment  
Dwelling, Loft  
Hotel or Motel

### **Business - Retail Trade**

Antique or Used Furniture Sales and Service  
Appliance Sales and Service  
Art and Craft Store and/or Studio  
Bicycle Sales and Service  
Building Material Sales (*All Indoors Excluding Concrete or Asphalt Mixing*)  
Clothing Store  
Department Store  
Drugstore  
Electronic Sales and Services  
Florist  
Hardware Store  
Heating, Ventilating, Air Conditioning Sales and Service  
Jewelry Store  
Monument Sales (*Excluding Stone Cutting*)  
Music Store  
Office Supplies/ Equipment Sales and Service  
Pet Store  
Photographic Studio and Equipment Sales and Service  
Shoe Store  
Sporting Goods  
Stationery, Gifts, or Art Supplies  
Tobacconist  
Variety Store  
Video Store

## **SPECIAL USES:**

### **Business – Vehicular Sales and Service**

Towing Service  
Truck Stop

### **Residential**

Dwelling, Multifamily

### **Public and Quasi-Public**

Church, Temple or Mosque  
Correctional Institution or Facility

## **PLANNED UNIT DEVELOPMENT USES:**

### **Business – Miscellaneous**

Commercial Planned Unit Development  
Mixed-Use Planned Unit Development

## CONDITIONAL USES:

### Business - Miscellaneous

Crematorium  
Day Care Facility (*Non-Home Based*)  
Veterinary Hospital (*Small Animal*)

### Public and Quasi-Public

Nonprofit or Governmental, Educational and  
Research Agencies  
Radio or Television Tower and Station

### Residential

Home for the Aged  
Nursing Home

### Industrial

Bookbinding  
Confectionery Products Manufacturing and  
Packaging  
Electronics and Related Accessories - Applied  
Research and Limited Manufacturing  
Engineering, Laboratory, Scientific and Research  
Instruments Manufacturing  
Motion Picture Production Studio  
Printing and Publishing Plants for Newspapers,  
Periodicals, Books, Stationery, and Commercial  
Printing  
Surgical, Medical, Dental and Mortuary Instruments  
and Supplies Manufacturing

## DEVELOPMENT REGULATIONS IN THE B-3 DISTRICT

ZONE	MIN LOT SIZE (square feet)	MIN AVERAGE WIDTH (in feet)	MAX HEIGHT (in feet)	MAX FAR	MIN OSR	MIN FRONT YARD (in feet)	MIN SIDE YARD (in feet)	MIN REAR YARD (in feet)
B-3	6,000	60	None <sup>3</sup>	4.00	None	15	5	10

**FAR= FLOOR AREA RATIO**

**OSR= OPEN SPACE RATIO**

**Footnote<sup>3</sup>** – In the AG, CRE, B-1, B-2, MOR and IN-1 Zoning Districts, and for residential uses in the B-3 and B-4 Districts, if the height of a building two stories or exceeds 25 feet, the minimum side and rear yards shall be increased as specified in Section VI-5.G.3 and Section VI-5.H.1, respectively. In the AG and CRE Districts, the maximum height specified in Table VI-3 shall not apply to farm buildings. However, the increased setbacks required in conjunction with additional height, as specified in Section VI-5, shall be required for all non-farm buildings.

For more information on zoning in the City of Urbana call or visit:

**City of Urbana**

**Community Development Services Department**

400 South Vine Street, Urbana, Illinois 61801

(217) 384-2440 phone / (217) 384-2367 fax

[www.urbanainllinois.us](http://www.urbanainllinois.us)



# Application for Zoning Map Amendment

## Plan Commission

### APPLICATION FEE - \$175.00

The Applicants are responsible for paying the cost of legal publication fees as well. The fees usually run from \$75.00 to \$125.00. The applicant is billed separately by the News-Gazette.

#### DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Date Request Filed 01-30-2014 Plan Case No. 2224-m-14  
Fee Paid - Check No. 3521 Amount \$175.00 Date 01-30-2014

### PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION

#### 1. APPLICANT CONTACT INFORMATION

Name of Applicant(s): **RUDOLF A. FRASCA, MANAGING GENERAL PARTNER** Phone: **217-344-9200**

Address (street/city/state/zip code): **906 AIRPORT RD., URBANA, IL 61802**

Email Address: **TFRASCA@FRASCA.COM**

Property interest of Applicant(s) (Owner, Contract Buyer, etc.): **OWNER**

#### 2. OWNER INFORMATION

Name of Owner(s): **FRASCA ASSOCIATES**

Phone: **217-344-9200**

Address (street/city/state/zip code): **906 AIRPORT RD., URBANA, IL**

Email Address: **TFRASCA@FRASCA.COM**

Is this property owned by a Land Trust? ☐ Yes ☒ No

*If yes, please attach a list of all individuals holding an interest in said Trust.*

#### 3. PROPERTY INFORMATION

Address/Location of Subject Site: **WILLOW ROAD**

PIN # of Location: **PART OF 91-21-04-100-019**

Lot Size: **2.00**

Current Zoning Designation: **IN: INDUSTRIAL**

Proposed Zoning Designation: **B-3: BUSINESS**

Current Land Use (vacant, residence, grocery, factory, etc): **AGRICULTURAL**

Proposed Land Use: **COMMERCIAL**

Present Comprehensive Plan Designation: **REGIONAL BUSINESS**

How does this request conform to the Comprehensive Plan? **YES**

Legal Description: SEE ATTACHED

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#### 4. CONSULTANT INFORMATION

Name of Architect(s): \_\_\_\_\_ Phone: \_\_\_\_\_

Address (street/city/state/zip code): \_\_\_\_\_

Email Address: \_\_\_\_\_

Name of Engineers(s): **BRYAN BRADSHAW - BKB ENGINEERING** Phone: **217-531-2971**

Address (street/city/state/zip code): **301 N. NEIL ST., SUITE 400, CHAMPAIGN, IL 61820**

Email Address: **BBRADSHAW@BKBENG.COM**

Name of Surveyor(s): **BRYAN BRADSHAW - BKB ENGINEERING** Phone: \_\_\_\_\_

**217-531-2971**

Address (street/city/state/zip code): **301 N. NEIL ST., SUITE 400, CHAMPAIGN, IL 61820**

Email Address: **BBRADSHAW@BKBENG.COM**

Name of Professional Site Planner(s): \_\_\_\_\_ Phone: \_\_\_\_\_

Address (street/city/state/zip code): \_\_\_\_\_

Email Address: \_\_\_\_\_

Name of Attorney(s): **MATTHEW J. SCHWEIGHART** Phone: **217-351-4040**

Address (street/city/state/zip code): **411 W. UNIVERSITY AVE., CHAMPAIGN, IL 61820**

Email Address: **MJS@ERWINLAW.COM**

#### 5. REASONS FOR MAP AMENDMENT:

What error in the existing Zoning Map would be corrected by the Proposed Amendment?

**PROPOSED B-3 ZONING IS IN CONFORMANCE WITH THE LAND USE MAP OF THE 2005 COMPREHENSIVE PLAN.**

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What changed or changing conditions warrant the approval of this Map Amendment?

**A PARKING LOT EXPANSION FOR AN ADJACENT INDOOR SOCCER FACILITY IS PROPOSED FOR THE PROPERTY.**

---

Explain why the subject property is suitable for the proposed zoning.

**ADEQUATE INFRASTRUCTURE EXISTS AT THE SITE. PROPOSED ZONING AND USE IS CONSISTENT WITH SURROUNDING PROPERTIES.**

What other circumstances justify the zoning map amendment? **PROPOSED ZONING MATCHES EXISTING ZONING DISTRICTS DIRECTLY SOUTH, EAST AND WEST OF THE SUBJECT TRACT**

Time schedule for development (if applicable). **SPRING / SUMMER 2014**

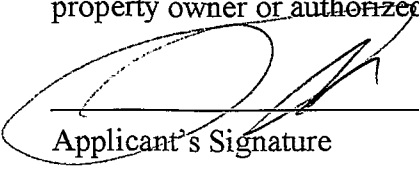
Additional exhibits submitted by the petitioner. **NONE**

***NOTE: If additional space is needed to accurately answer any question, please attach extra pages to the application.***

***By submitting this application, you are granting permission for City staff to post on the property a temporary yard sign announcing the public hearing to be held for your request.***

#### **CERTIFICATION BY THE APPLICANT**

I certify all the information contained in this application form or any attachment(s), document(s) or plan(s) submitted herewith are true to the best of my knowledge and belief, and that I am either the property owner or authorized to make this application on the owner's behalf.

  
Applicant's Signature

1-27-14  
Date

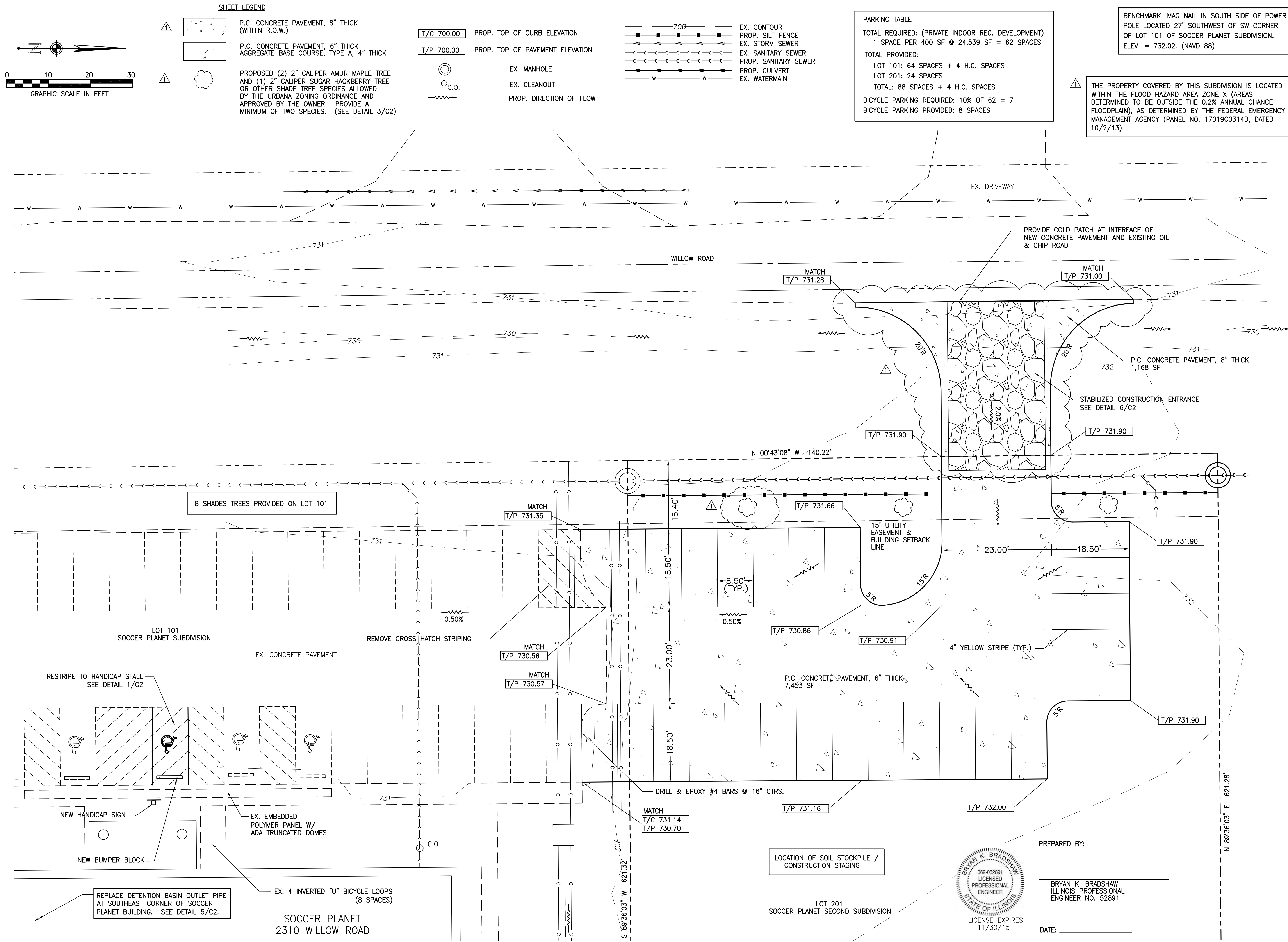
**SOCCER PLANET SECOND SUBDIVISION**

**URBANA, ILLINOIS**

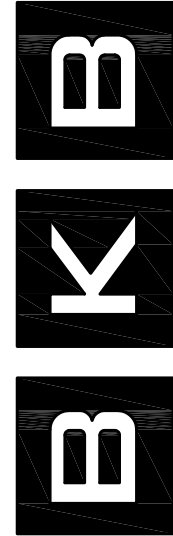
**LEGAL DESCRIPTION:**

**PART OF THE NORTHWEST QUARTER, SECTION 4, TOWNSHIP 19 NORTH, RANGE 9 EAST, THIRD P.M., CITY OF URBANA, CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE NORTHWEST CORNER OF SECTION 4, TOWNSHIP 19 NORTH, RANGE 9 EAST, THIRD P.M; THENCE SOUTH 00 DEGREES 43 MINUTES 08 SECONDS EAST ALONG THE WEST LINE OF THE NORTHWEST QUADRANT OF SAID SECTION 4 FOR A DISTANCE OF 1602.98 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST FOR A DISTANCE OF 621.28 FEET TO THE WEST LINE OF OUTLOT A OF O'BRIEN SUBDIVISION NO. 1 AS RECORDED AS DOCUMENT NO. 2004R36644 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 00 DEGREES 44 MINUTES 11 SECONDS EAST ALONG SAID WEST LINE OF OUTLOT A OF O'BRIEN SUBDIVISION NO. 1 FOR A DISTANCE OF 140.22 FEET TO THE NORTHEAST CORNER OF LOT 101 OF SOCCER PLANET SUBDIVISION AS RECORDED AS DOCUMENT NO. 2011R00460 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE ; THENCE SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE NORTH LINE OF SAID SOCCER PLANET SUBDIVISION FOR A DISTANCE OF 621.32 FEET TO SAID WEST LINE OF THE NORTHWEST QUARTER OF SECTION 4; THENCE NORTH 00 DEGREES 43 MINUTES 08 SECONDS WEST ALONG SAID WEST LINE OF THE NORTHWEST QUARTER OF SECTION 4 FOR A DISTANCE OF 140.22 FEET TO THE POINT OF BEGINNING, CONTAINING 2.000 ACRES MORE OR LESS.**



REVISIONS			DESCRIPTION
NO.	DATE	BY	
1	2/25/14		CITY OF URBANA REVISIONS



301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820  
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

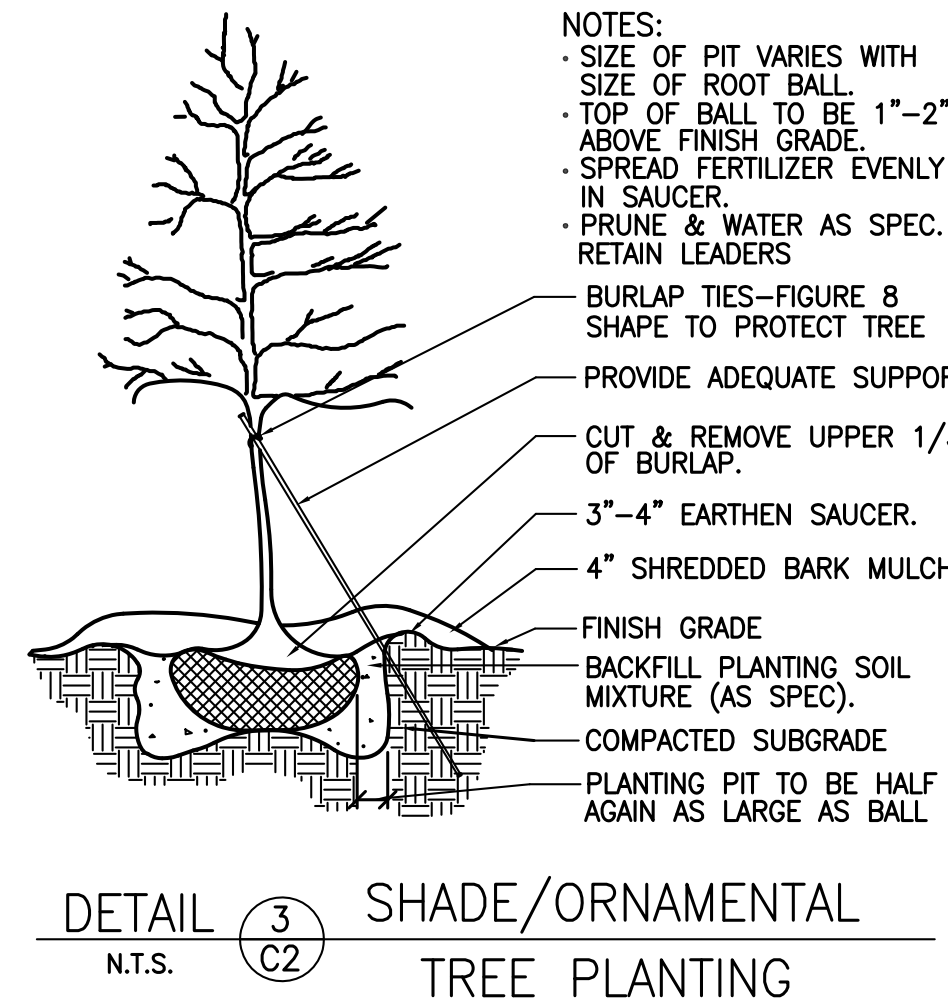
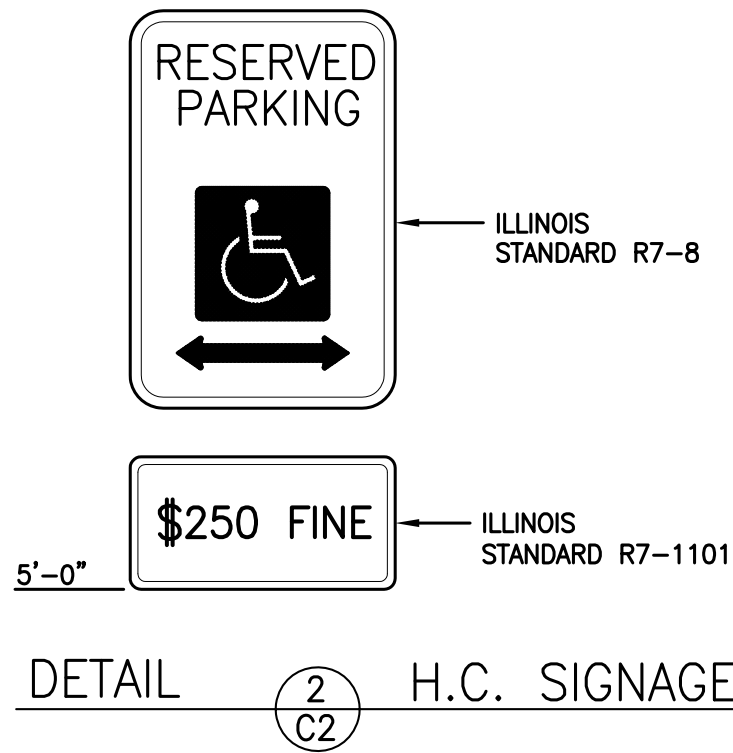
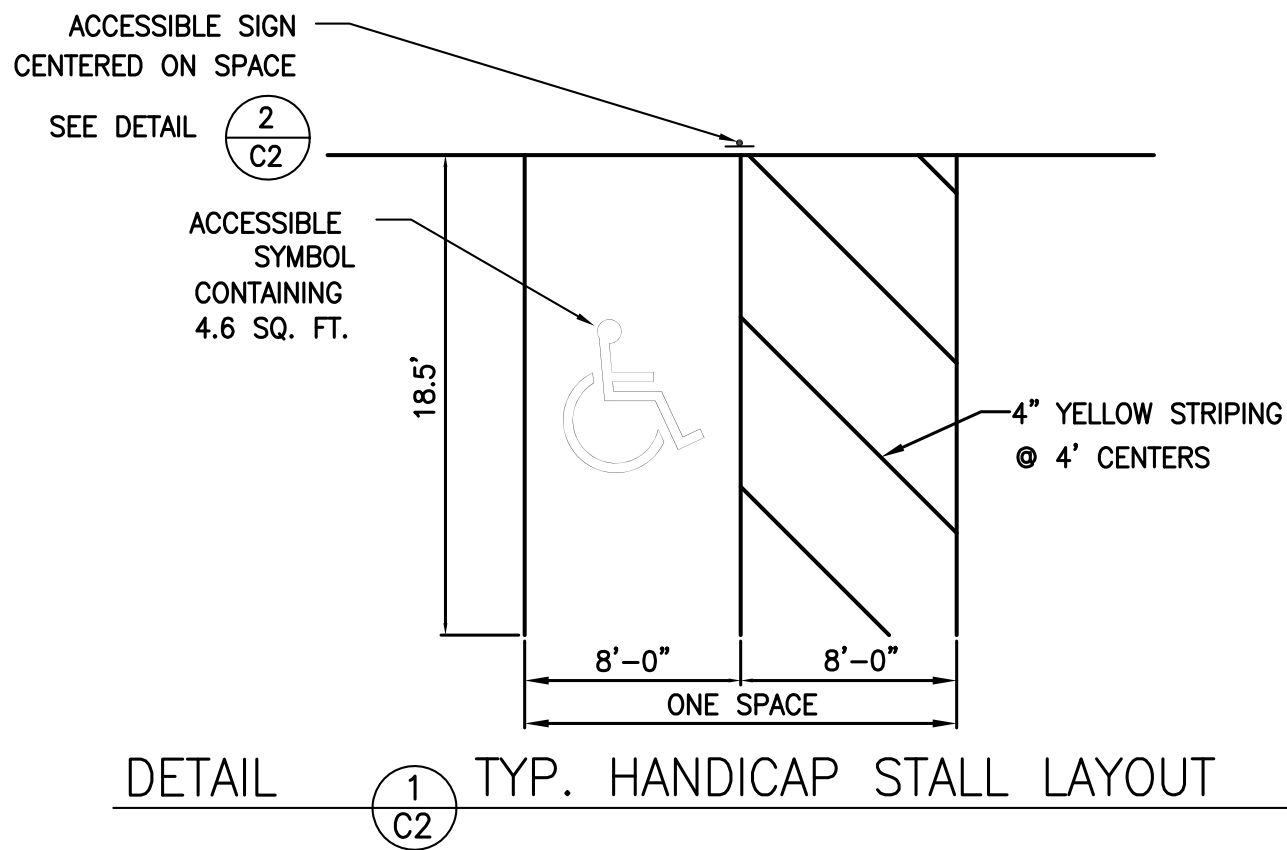
PARKING LOT PLAN

PARKING LOT EXPANSION  
SOCCER PLANET SECOND SUBDIVISION  
2312 WILLOW RD. — URBANA, ILLINOIS

PROJECT: 80-1301
DESIGN BY: BKB
DRAWN BY: BKB
DATE: 2/5/14
SHEET:

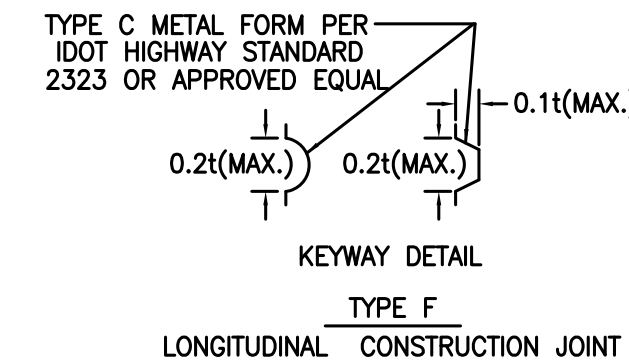
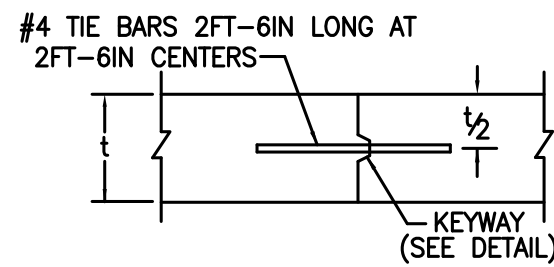
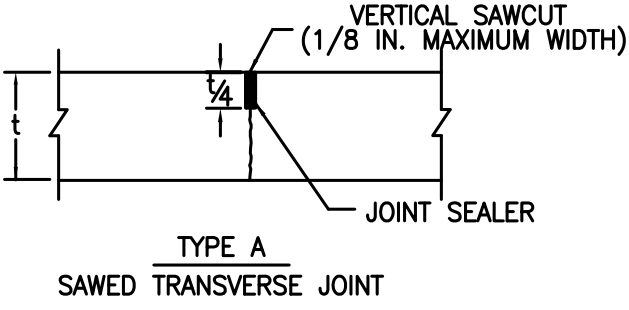
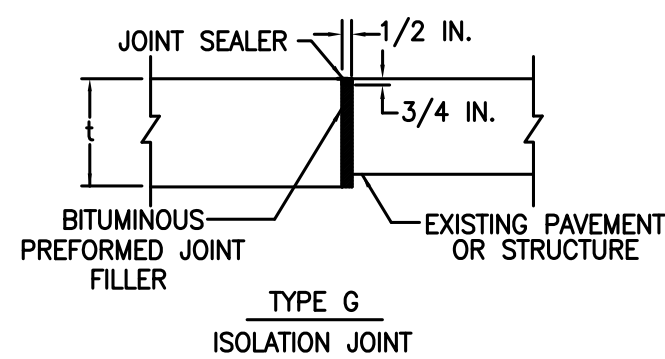


- PAVEMENT MARKINGS SHALL CONFORM TO SECTION T-502 OF THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS.
- ALL PARKING STRIPING SHALL BE YELLOW.
- ACCESSIBLE SYMBOLS SHALL BE LARGE SIZE CONTAINING 4.6 SQ. FT. OF AREA EACH.
- REFER TO PAVING PLAN FOR PLACEMENT OF ACCESSIBLE SIGNAGE. SIGNS SHALL BE CENTERED ON EACH 16' SPACE.
- ACCESSIBLE SIGNS SHALL CONSIST OF ILLINOIS STANDARD SIGNS: R7-8 "ACCESSIBILITY SYMBOL" R7-1101 "\$250 FINE"
- SLOPE OF ACCESSIBLE SPACES SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

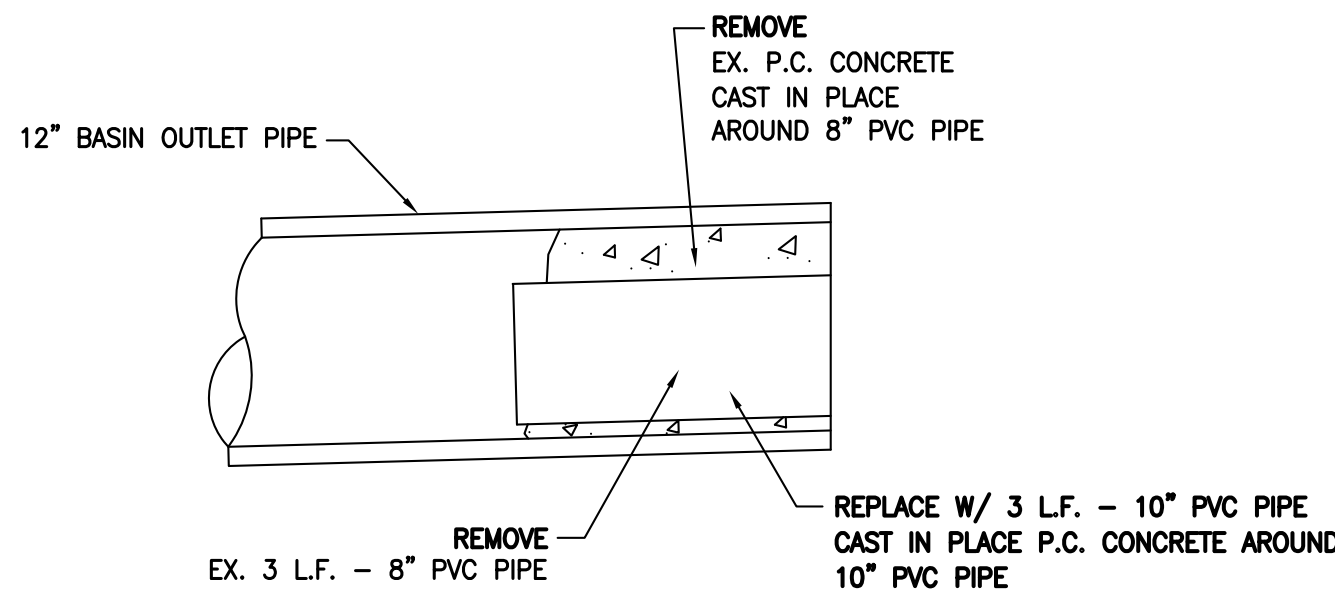


GENERAL NOTES

- ALL JOINTS MUST BE CONTINUOUS ACROSS THE PAVEMENT AND EXTEND THROUGH CURBS, EXCEPT TIED TRANSVERSE CONSTRUCTION JOINTS.
- TRANSVERSE JOINT SPACING SHALL NOT EXCEED 12 FEET.



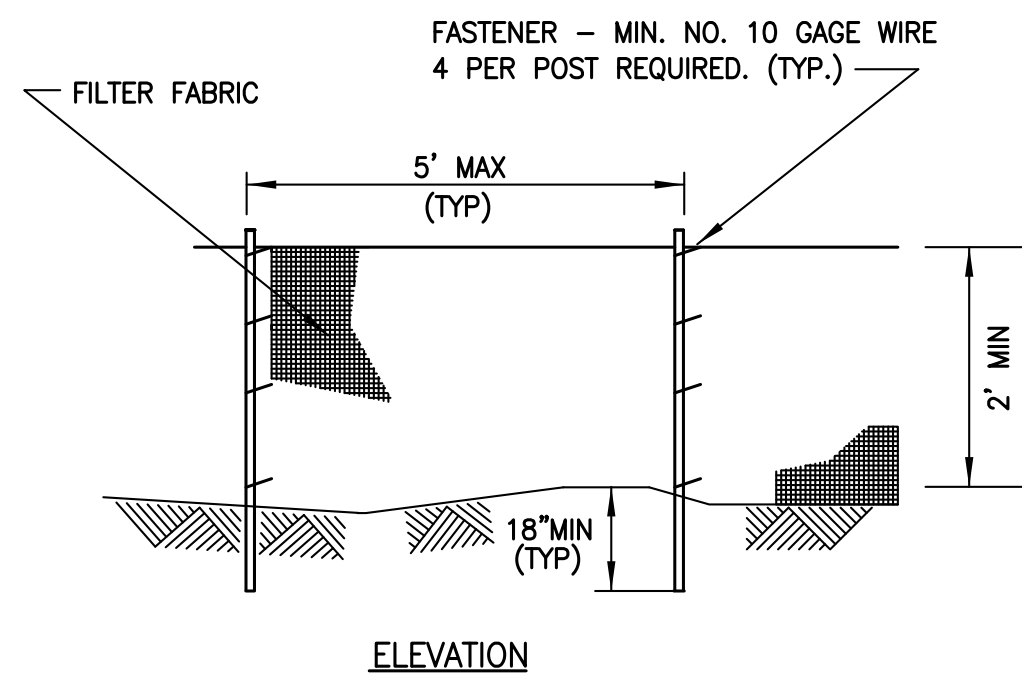
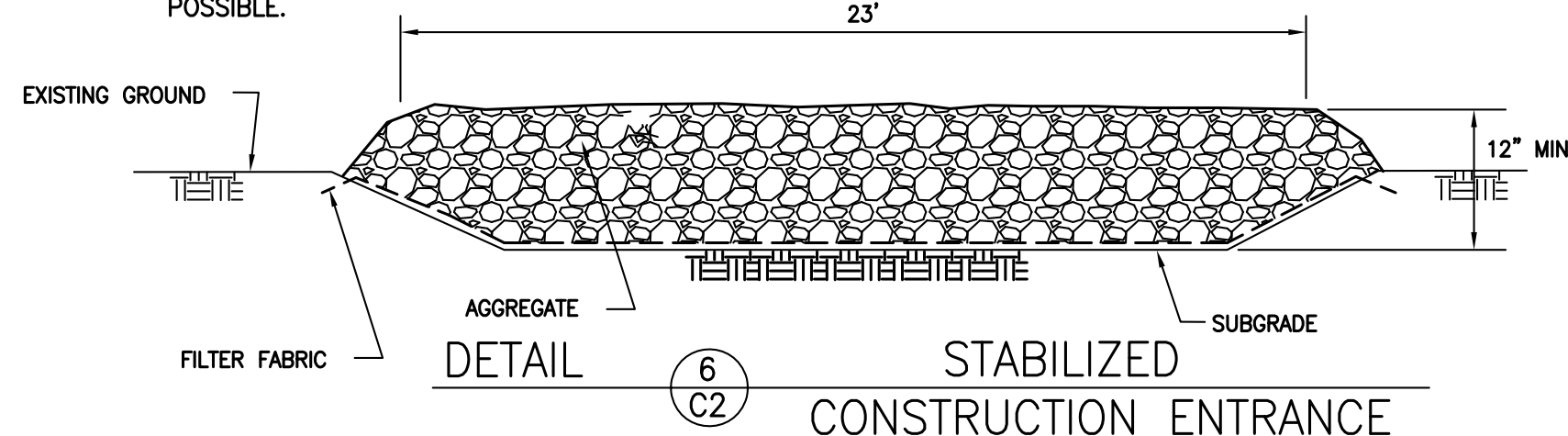
DETAIL (4) C2 CONCRETE PAVEMENT JOINTS



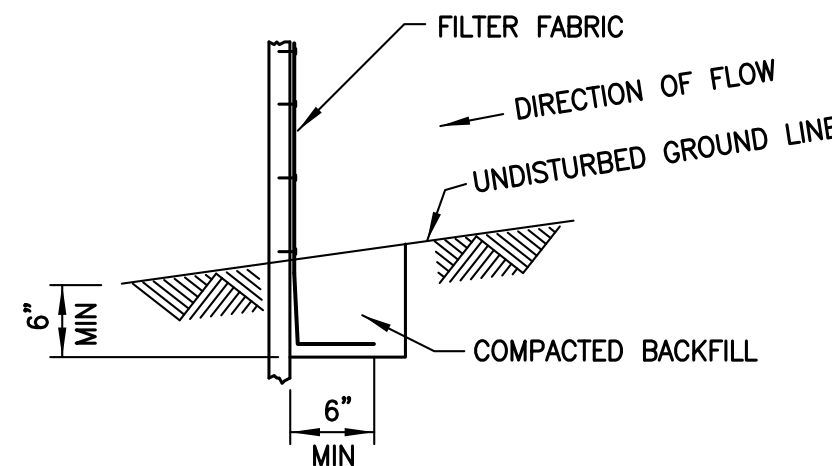
DETAIL (5) C2 DETENTION BASIN OUTLET PIPE REPLACEMENT

STABILIZED CONSTRUCTION ENTRANCE NOTES:

- FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, II OR IV AND SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO THE PLACING OF ROCK.
- ROCK SHALL MEET ONE OF THE FOLLOWING IDOT COARSE AGGREGATE GRADATIONS, CA-1, CA-2, CA-3, OR CA-4 AND BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 25 ROCKFILL USING PLACEMENT METHOD 1 AND CLASS III COMPACTION.
- ROADWAY SHALL FOLLOW THE CONTOUR OF THE NATURAL TERRAIN TO THE EXTENT POSSIBLE.



ELEVATION



FABRIC ANCHOR DETAIL

NOTES:

- TEMPORARY SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
- FILTER FABRIC SHALL BE IN ACCORDANCE WITH ARTICLE 1080.02 OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, JANUARY 1, 2002. FABRIC SHALL HAVE EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
- FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.

DETAIL (7) C2 SILT FENCE

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS: STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS (IDOT STANDARD SPECIFICATIONS), CITY OF URBANA, ILLINOIS ORDINANCES, UCSD SANITARY SEWER STANDARDS AND STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR SAFETY ON THE JOB SITE, NOR SHALL THE ENGINEER BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ENGINEER NOR THE PRESENCE OF THE ENGINEER AT A CONSTRUCTION SITE SHALL RELIEVE THE CONTRACTOR OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES.
- CONTACT JULIE FOR UTILITY LOCATIONS BEFORE PERFORMING ANY EXCAVATIONS WITHIN RIGHT-OF-WAY OR EASEMENTS (1-800-892-0123).
- WHENEVER CONSTRUCTION OPERATIONS ENCR OACH ON THE CITY RIGHT-OF-WAY, TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS TO THE SATISFACTION OF THE CITY OF URBANA.
- NO MATERIALS OR EQUIPMENT SHALL BE STORED OR STOCKPILED WITHIN PUBLIC RIGHT-OF-WAY OR ON ADJACENT LOTS.
- ALL FIELD TILES, DRAINS AND UTILITIES CUT DURING CONSTRUCTION SHALL BE REPLACED OR REROUTED AT THE DIRECTION OF THE ENGINEER OR THE CITY OF URBANA. ALL DRAINAGE FACILITIES WHICH ARE BROKEN OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED AS NEARLY AS POSSIBLE TO THEIR ORIGINAL STATE BY THE CONTRACTOR, EXCEPT THAT ALL FIELD TILES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM WHERE NECESSARY FOR PROTECTION OF IMPROVEMENTS OR PREVENTION OF UPSTREAM FLOOD DAMAGE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ENGINEER OF ALL SEVERED LINES AND TO REPLACE OR REROUTE PROMPTLY AT NO ADDED COST TO THE OWNER.

PAVING CONSTRUCTION NOTES:

- PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN ILLINOIS, LATEST EDITION AND CITY OF URBANA ORDINANCES.
- PARKING LOT PAVEMENT SHALL BE PORTLAND CEMENT CONCRETE PAVEMENT, CLASS PV, 6" THICK OVER AGGREGATE BASE COURSE TYPE A, 4" THICK.
- CONTRACTOR TO PROVIDE PROPOSED PCC JOINTING PATTERN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. 12' X 12' MAX.

EROSION CONTROL NOTES:

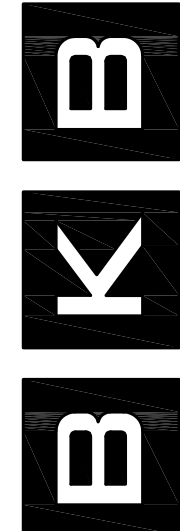
- INSTALL SILT FILTER FABRIC AS NOTED ON THE PLANS. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND ANY NOTED DEFICIENCIES SHALL BE REPAIRED IMMEDIATELY. EROSION CONTROL MEASURES SHALL ALSO BE INSPECTED AFTER ANY SIGNIFICANT RAIN EVENT (1/2 INCH ACCUMULATION WITHIN A 24 HOUR PERIOD) AND NOTED DEFICIENCIES REPAIRED IMMEDIATELY.
- SEEDING SHALL TAKE PLACE AS SOON AS FINISH GRADING OPERATIONS ARE COMPLETE, UNLESS DIRECTED OTHERWISE BY THE ENGINEER. ALL STRIPPED AREAS NOT ANTICIPATED TO HAVE CONSTRUCTION TAKE PLACE WITHIN 30 DAYS SHALL BE SEEDED IMMEDIATELY, WEATHER AND SOIL CONDITIONS PERMITTING.
- ALL DISTURBED AREAS SHALL BE SEEDED WITH CLASS 1B SEED MIXTURE OR EQUAL IN ACCORDANCE WITH SECTION 250 OF THE IDOT STANDARD SPECIFICATIONS. STRAW MULCH SHALL BE APPLIED TO ALL SEEDED AREAS ACCORDING TO METHOD 2, PROCEDURE 2 OF ARTICLE 251.03 OF THE IDOT STANDARD SPECIFICATIONS. MULCH METHOD 2, PROCEDURE 2 SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE.

GRADING NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING INCLUDING EXCAVATION, EMBANKMENT AND BACKFILLING AS NECESSARY TO CONSTRUCT ALL PAVEMENT TO THE ELEVATIONS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING STORM OR SANITARY MANHOLES OR OTHER EXISTING UTILITIES DURING GRADING.
- ALL TRENCHING OPERATIONS WITHIN A PREPARED SUBGRADE SHALL BE BACKFILLED IN SUCH A MANNER THAT THE SUBGRADE WILL REMAIN IN THE CONDITION EXISTING BEFORE CONSTRUCTION OPERATIONS BEGAN. THE CONTRACTOR WILL BE HELD LIABLE FOR THE COST OF ANY GRADING OPERATIONS NECESSARY TO CORRECT FAULTY BACKFILLING OR CLEANUP PROCEDURES.
- EXISTING VEGETATION AND TOPSOIL SHALL BE REMOVED AND STOCKPILED AS DIRECTED BY THE OWNER'S REPRESENTATIVE. REMOVAL SHALL BE TO A DEPTH AS NEEDED TO REMOVE ALL ORGANIC MATERIAL.
- SUBGRADE WITHIN THE PROPOSED PAVEMENT AND BUILDING SITE AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY IN ACCORDANCE WITH SECTION 205 OF THE STANDARD SPECIFICATIONS.
- LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL IN EMBANKMENT AREAS. EXCAVATION AREAS SHALL BE UNDERCUT 6 INCHES IN LANDSCAPED AREAS TO ACCOMMODATE 6 INCHES OF TOPSOIL TO FINISH GRADE.

REVISIONS

NO.	DATE	DESCRIPTION
1	2/25/14	CITY OF URBANA REVISIONS



ENGINEERING  
301 N. NEIL STREET, SUITE 400 | CHAMPAIGN, IL 61820  
CELL 217.840.3546 | OFFICE 217.531.2971 | FAX 217.531.2211

SITE DETAILS & NOTES

PARKING LOT EXPANSION  
SOCCER PLANET SECOND SUBDIVISION  
2312 WILLOW RD. - URBANA, ILLINOIS

PROJECT: 80-1301

DESIGN BY: BKB

DRAWN BY: BKB

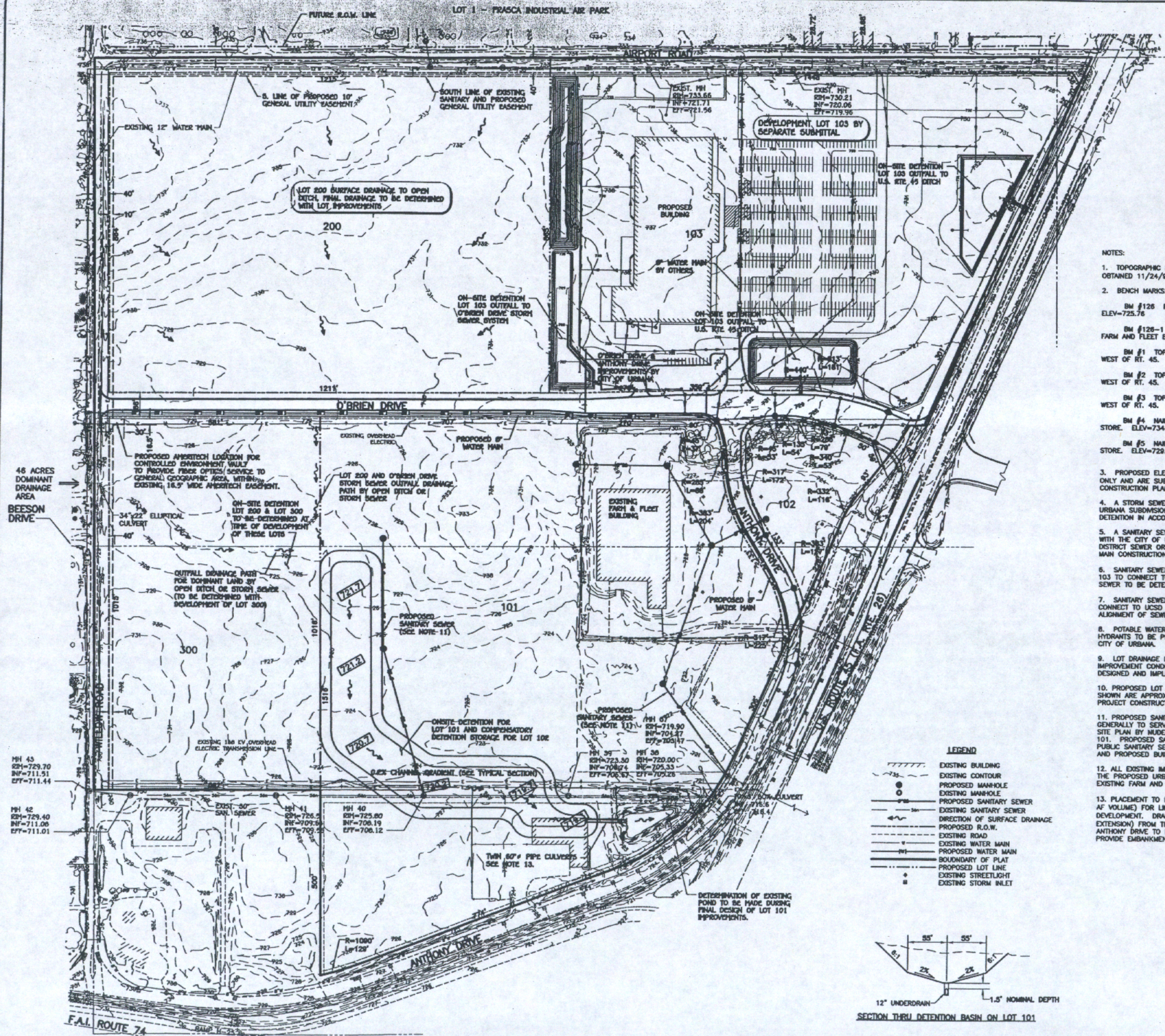
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SHEET:

C2





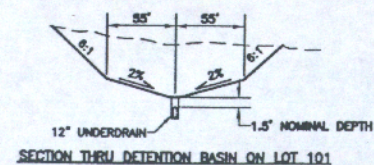


## NOTES:

- TOPOGRAPHIC INFORMATION IS PROVIDED BY AERIAL MAPPING SERVICES, INFORMATION OBTAINED 11/24/99 & 1/6/00.
- BENCH MARKS:
  - BM #126 RR SPIKE IN N. SIDE OF PP @ NE QUAD OF RT. 45 AND AIRPORT RD. ELEV=725.76
  - BM #126-1 CUT "X" ON CENTER EAST END OF CONCRETE MEDIAN AT EXISTING FARM AND FLEET ENTRANCE OFF OF RT. 45. ELEV=725.16
  - BM #1 TOP OPERATING NUT ON FH ON S. SIDE OF AIRPORT RD. APPROX. 300' WEST OF RT. 45. ELEV=731.80
  - BM #2 TOP OPERATING NUT ON FH ON S. SIDE OF AIRPORT RD. APPROX. 600' WEST OF RT. 45. ELEV=733.80
  - BM #3 TOP OPERATING NUT ON FH ON S. SIDE OF AIRPORT RD. APPROX. 900' WEST OF RT. 45. ELEV=736.58
  - BM #4 NAIL IN N. SIDE OF PP @ NW CORNER OF EXISTING FARM AND FLEET STORE. ELEV=734.77
  - BM #5 NAIL IN NW SIDE OF PP @ NE CORNER OF EXISTING FARM AND FLEET STORE. ELEV=729.07
- PROPOSED ELEVATIONS, STORM AND SANITARY SEWER SYSTEMS ARE APPROXIMATE ONLY AND ARE SUBJECT TO REVISION IN PREPARATION OF THE PROJECT (PHASED) CONSTRUCTION PLANS.
- A STORM SEWER SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH THE CITY OF URBANA SUBDIVISION ORDINANCE. PROVISIONS WILL BE MADE ON-SITE FOR STORMWATER DETENTION IN ACCORDANCE WITH SAID ORDINANCE.
- A SANITARY SEWER SYSTEM WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF URBANA SUBDIVISION ORDINANCE, THE URBANA-CHAMPAIGN SANITARY DISTRICT SEWER ORDINANCE, AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS.
- SANITARY SEWER SYSTEM FOR LOT 200 (OR FUTURE SUBDIVISIONS THEREOF) AND LOT 103 TO CONNECT TO UCSD SANITARY SEWER ALONG AIRPORT ROAD. ALIGNMENT OF SEWER TO BE DETERMINED WITH LOT 200 IMPROVEMENT PLANS.
- SANITARY SEWER SYSTEM FOR LOT 300 (OR FUTURE SUBDIVISIONS THEREOF) TO CONNECT TO UCSD SANITARY SEWER ALONG SOUTH PROPERTY LINE OF LOT 300. ALIGNMENT OF SEWER TO BE DETERMINED WITH LOT 300 IMPROVEMENT PLANS.
- POTABLE WATER WILL BE SUPPLIED BY ILLINOIS-AMERICAN WATER COMPANY. FIRE HYDRANTS TO BE PLACED AS DIRECTED BY THE DIRECTOR OF PUBLIC SAFETY FOR THE CITY OF URBANA.
- LOT DRAINAGE PATTERNS SHOWN ARE GENERAL AND REFLECT PREDEVELOPMENT LOT IMPROVEMENT CONDITIONS. STORM DRAINAGE SYSTEMS FOR INDIVIDUAL LOTS ARE TO BE DESIGNED AND IMPLEMENTED WITH LOT IMPROVEMENTS.
- PROPOSED LOT GRADING, STORM SEWER SYSTEMS AND SANITARY SEWER SYSTEMS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO REVISION IN PREPARATION OF THE PROJECT CONSTRUCTION PLANS.
- PROPOSED SANITARY SEWERS ON LOT 101 ARE SCHEMATIC ONLY AND SHOWN GENERALLY TO SERVE PROPOSED BUILDINGS AS DEPICTED ON THE PROGRAM DEVELOPMENT SITE PLAN BY MUELLER ARCHITECTS FOR THE URBANA AUTOPARK IMPROVEMENTS ON LOT 101. PROPOSED SANITARY SEWERS ARE INTENDED TO REFLECT INTENT TO PROVIDE PUBLIC SANITARY SEWER SERVICE TO LOT 101. INTERNAL ACCESS DRIVES, PARKING LOTS AND PROPOSED BUILDINGS ON LOT 101 ARE BEING DEVELOPED AT THIS TIME.
- ALL EXISTING IMPROVEMENTS ON LOT 101 ARE INTENDED TO BE DEMOLISHED FOR THE PROPOSED URBANA AUTOPARK DEVELOPMENT WITH THE POSSIBLE EXCEPTION OF THE EXISTING FARM AND FLEET BUILDING.
- PLACEMENT TO PROVIDE CREATED HEADWATER (0.4HW 723.8 BASIN AND ESTIMATED 10.5 AF VOLUME) FOR LINEAR DETENTION AND NORTH-SOUTH ACCESS ASLE FOR THE DEVELOPMENT. DRAINAGE OUTFALL ROUTING AND TYPE (OPEN DITCH OR CULVERT EXTENSION) FROM THE CULVERTS TO THE EXISTING 10' x 5' BOX CULVERT UNDER ANTHONY DRIVE TO BE DETERMINED DURING FINAL DESIGN. FINAL LOT 101 GRADING TO PROVIDE EMBANKMENT FOR ONE FOOT FREEBOARD ABOVE HW 723.8.

## LEGEND

- EXISTING BUILDING
- EXISTING CONTOUR
- PROPOSED MANHOLE
- EXISTING MANHOLE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- DIRECTION OF SURFACE DRAINAGE
- PROPOSED R.O.W.
- EXISTING ROAD
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- BOUNDARY OF PLAT
- PROPOSED LOT LINE
- EXISTING STREETLIGHT
- EXISTING STORM INLET





# FINAL PLAT SOCCER PLANET SECOND SUBDIVISION

AN ADDITION TO THE CITY OF URBANA,  
CHAMPAIGN COUNTY, ILLINOIS  
PART OF NW 1/4, SEC. 4, T. 19 N., R. 9 E., 3rd. P.M.

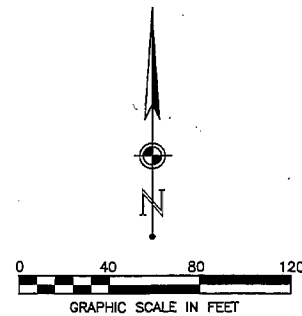
OWNER / SUBDIVIDER:

FRASCA ASSOCIATES  
RUDOLF A. FRASCA,  
MANAGING GENERAL PARTNER  
906 AIRPORT RD.  
URBANA, IL 61802

ENGINEER/SURVEYOR:

BKB ENGINEERING, INC.  
301 N. NEIL ST., SUITE 400  
CHAMPAIGN, IL 61820  
(217) 531-2971 OFFICE  
(217) 531-2211 FAX  
PROFESSIONAL DESIGN FIRM  
NO. 184.005483

EXHIBIT H



## LEGEND

- BOUNDARY OF PLAT
- SECTION LINE
- EX. LOT LINE
- EX. RIGHT-OF-WAY LINE
- PROP. RIGHT-OF-WAY LINE
- PUBLIC UTILITY AND DRAINAGE EASEMENT LINE
- EX. CENTERLINE
- 5/8" IRON PIN SET W/CAP 3738
- SET CONCRETE MONUMENT W/IRON PIN & CAP 3738
- MONUMENT FOUND
- IRON PIN / PIPE FOUND
- IRON PIN / PIPE FOUND IN CONCRETE
- RECORD BEARING / DIMENSION

## NOTES:

- ALL BEARINGS ARE BASED ON THE NORTH LINE OF LOT 101 OF SOCCER PLANET SUBDIVISION.
- FRONT YARD, REAR YARD AND SIDE YARD SETBACKS FOR ALL LOTS WITHIN ALL ZONING DISTRICTS SHALL BE IN ACCORDANCE WITH THE CITY OF URBANA, ILLINOIS ZONING ORDINANCE.
- THE SITE LIES WITHIN THE SALINE BRANCH DRAINAGE DISTRICT.
- THE SUBDIVISION IS LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY OF URBANA, ILLINOIS.
- THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN THE FLOOD HAZARD AREA ZONE C (AREA OF MINIMAL FLOODING), AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (PANEL NO. 1700350009B, DATED JANUARY 16, 1981).
- NO PART OF THE AREA COVERED BY THIS PLAT IS SITUATED WITHIN 500 FEET OF A WATERCOURSE SERVING A TRIBUTARY AREA OF 640 ACRES OR MORE.
- ILLINOIS POWER EASEMENT OF UNDETERMINED WIDTH OVER AND ACROSS THE NORTH HALF OF SW 1/4, NW 1/4 OF SECTION 4. RECORDED 1/23/53 IN BOOK 472, PAGE 380.
- FIELDWORK FOR THIS SUBDIVISION WAS PERFORMED IN JANUARY 2014.
- SIDEWALK DEFERRAL: PROPERTY OWNER(S) SHALL INSTALL SIDEWALKS ON THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SUBJECT PROPERTY AT THE THEN OWNER(S) EXPENSE WITHIN SIX MONTHS OF PASSAGE OF A RESOLUTION BY THE URBANA CITY COUNCIL TO DO SO. IF THE THEN OWNER(S) DO NOT INSTALL THE SIDEWALKS WHEN REQUESTED, THE CITY OF URBANA HAS THE AUTHORITY TO CONSTRUCT THE SIDEWALKS AND CHARGE THE THEN OWNER(S) FOR THE CONSTRUCTION. IT IS AGREED THAT THIS OBLIGATION SHALL BE A COVENANT RUNNING WITH THE LAND.

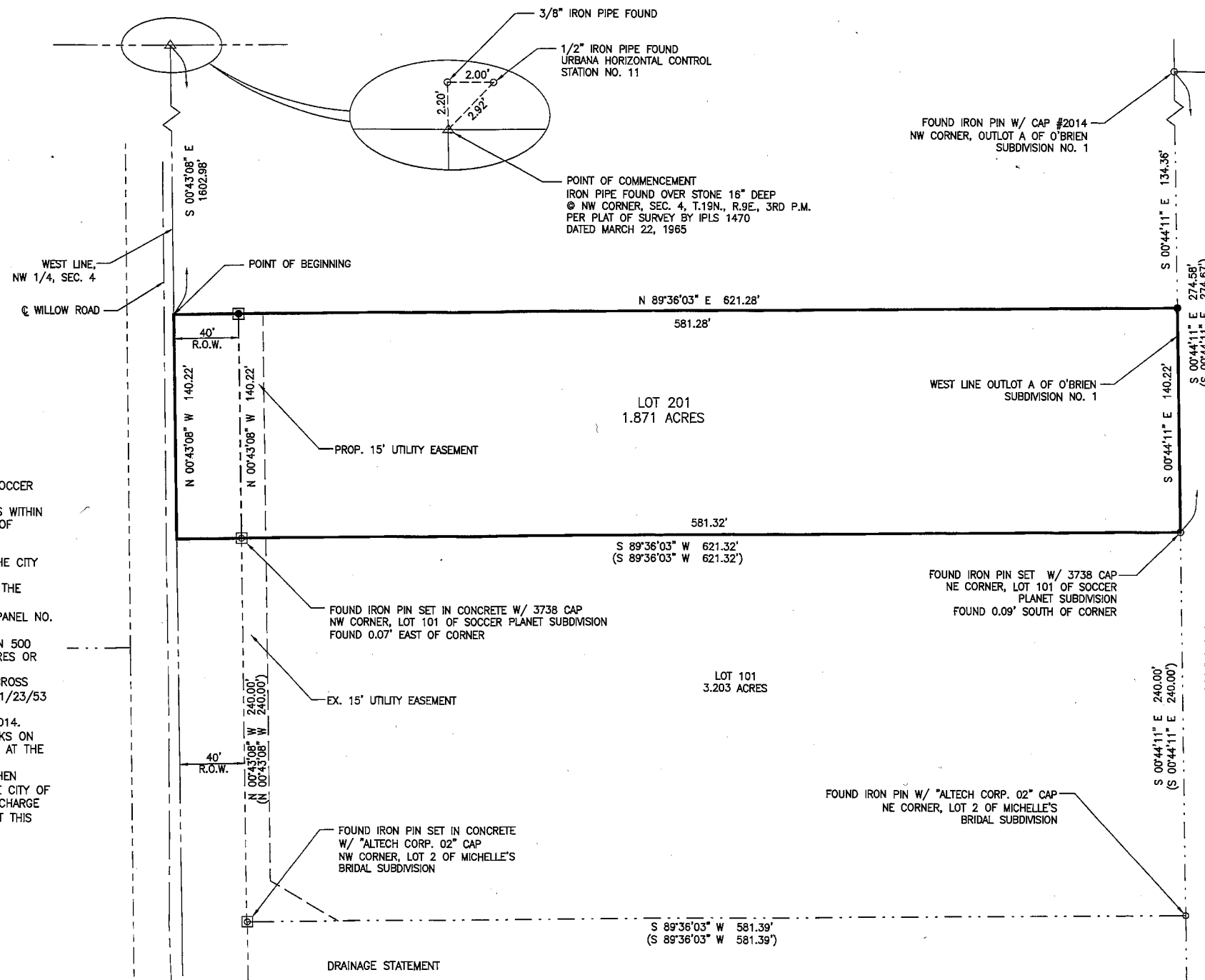
PRESENTED FOR RECORDING BY:

CITY OF URBANA  
400 S. VINE ST.  
URBANA, ILLINOIS 61801

RETURN TO:

BKB ENGINEERING, INC.  
301 N. NEIL ST., SUITE 400  
CHAMPAIGN, IL 61820  
(217) 531-2971 OFFICE  
(217) 531-2211 FAX

DATE OF PREPARATION: JANUARY 16, 2014



## DRAINAGE STATEMENT

TO THE BEST OF OUR KNOWLEDGE AND BELIEF PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

BRYAN K. BRADSHAW  
ILLINOIS LICENSED  
PROFESSIONAL ENGINEER NO. 52891

OWNER: RUDOLF A. FRASCA, MANAGING GENERAL PARTNER

STATE OF ILLINOIS

COUNTY OF CHAMPAIGN

I, BRYAN K. BRADSHAW, ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3738 DO HEREBY CERTIFY THAT AT THE REQUEST OF FRASCA ASSOCIATES, I HAVE SURVEYED AND SUBDIVIDED THE HEREINAFTER DESCRIBED TRACT OF LAND INTO LOTS AS SHOWN ON THE ATTACHED PLAT. SAID PLAT IS A TRUE REPRESENTATION OF SAID SUBDIVISION, WHICH IS HEREINAFTER TO BE KNOWN AS "SOCCER PLANET SECOND SUBDIVISION". THE SCALE ON THE PLAT IS AS INDICATED. ALL DISTANCES MARKED ON THE PLAT ARE IN FEET AND DECIMAL PARTS OF FEET. SUBDIVISION AND LOT CORNERS HAVE BEEN MONUMENTED AS SHOWN ON ATTACHED PLAT. I FURTHER CERTIFY THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. THE PROPERTY TO BE SUBDIVIDED AND PLATTED IS DESCRIBED AS FOLLOWS:

PART OF THE NORTHWEST QUARTER, SECTION 4, TOWNSHIP 19 NORTH, RANGE 9 EAST, THIRD P.M., CITY OF URBANA, CHAMPAIGN COUNTY, ILLINOIS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 4, TOWNSHIP 19 NORTH, RANGE 9 EAST, THIRD P.M.; THENCE SOUTH 00 DEGREES 43 MINUTES 08 SECONDS EAST ALONG THE WEST LINE OF THE NORTHWEST QUADRANT OF SAID SECTION 4 FOR A DISTANCE OF 1602.98 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST FOR A DISTANCE OF 621.28 FEET TO THE WEST LINE OF OUTLOT A OF O'BRIEN SUBDIVISION NO. 1 AS RECORDED AS DOCUMENT NO. 2004R36644 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 00 DEGREES 44 MINUTES 11 SECONDS EAST ALONG SAID WEST LINE OF OUTLOT A OF O'BRIEN SUBDIVISION NO. 1 FOR A DISTANCE OF 140.22 FEET TO THE NORTHEAST CORNER OF LOT 101 OF SOCCER PLANET SUBDIVISION AS RECORDED AS DOCUMENT NO. 2011R00460 IN THE RECORDS OF THE CHAMPAIGN COUNTY, ILLINOIS RECORDER'S OFFICE; THENCE SOUTH 89 DEGREES 36 MINUTES 03 SECONDS WEST ALONG THE NORTH LINE OF SAID SOCCER PLANET SUBDIVISION FOR A DISTANCE OF 621.32 FEET TO SAID WEST LINE OF THE NORTHWEST QUARTER OF SECTION 4; THENCE NORTH 00 DEGREES 43 MINUTES 08 SECONDS WEST ALONG SAID WEST LINE OF THE NORTHWEST QUARTER OF SECTION 4 FOR A DISTANCE OF 140.22 FEET TO THE POINT OF BEGINNING, CONTAINING 2.000 ACRES MORE OR LESS.

SIGNED AND SEALED THIS DAY OF , 2014

BRYAN K. BRADSHAW  
ILLINOIS PROFESSIONAL LAND  
SURVEYOR NUMBER 3738



APPROVED BY: THE URBANA PLAN COMMISSION OF THE CITY OF URBANA, ILLINOIS

DATE: CHAIRPERSON:

APPROVED BY: THE CITY COUNCIL OF THE CITY OF URBANA, ILLINOIS, IN ACCORDANCE WITH ORDINANCE NO.

DATE: BY: MAYOR

CITY CLERK

THIS PLAT IS VALID FOR 180 DAYS FROM